

# 1 Transbay: Freeways to New Ways

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**SPUR San José Symposium**  
**October 12, 2018**



# Transbay – freeway land pre-1989

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# 1989 Loma Prieta Earthquake

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TRANSBAY c. 2004

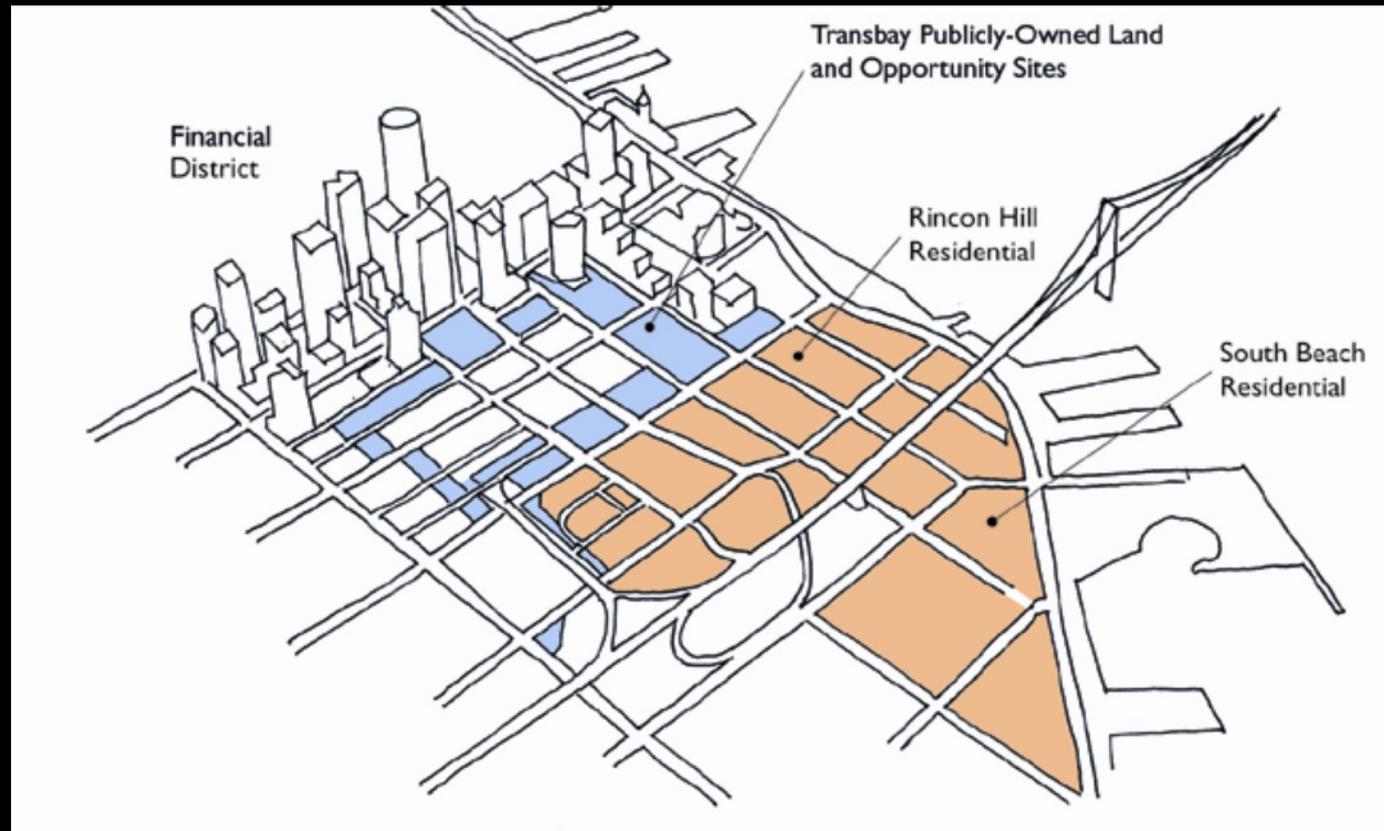


New Transbay : Capitalize on Transit Accessibility

# Goals of Redevelopment

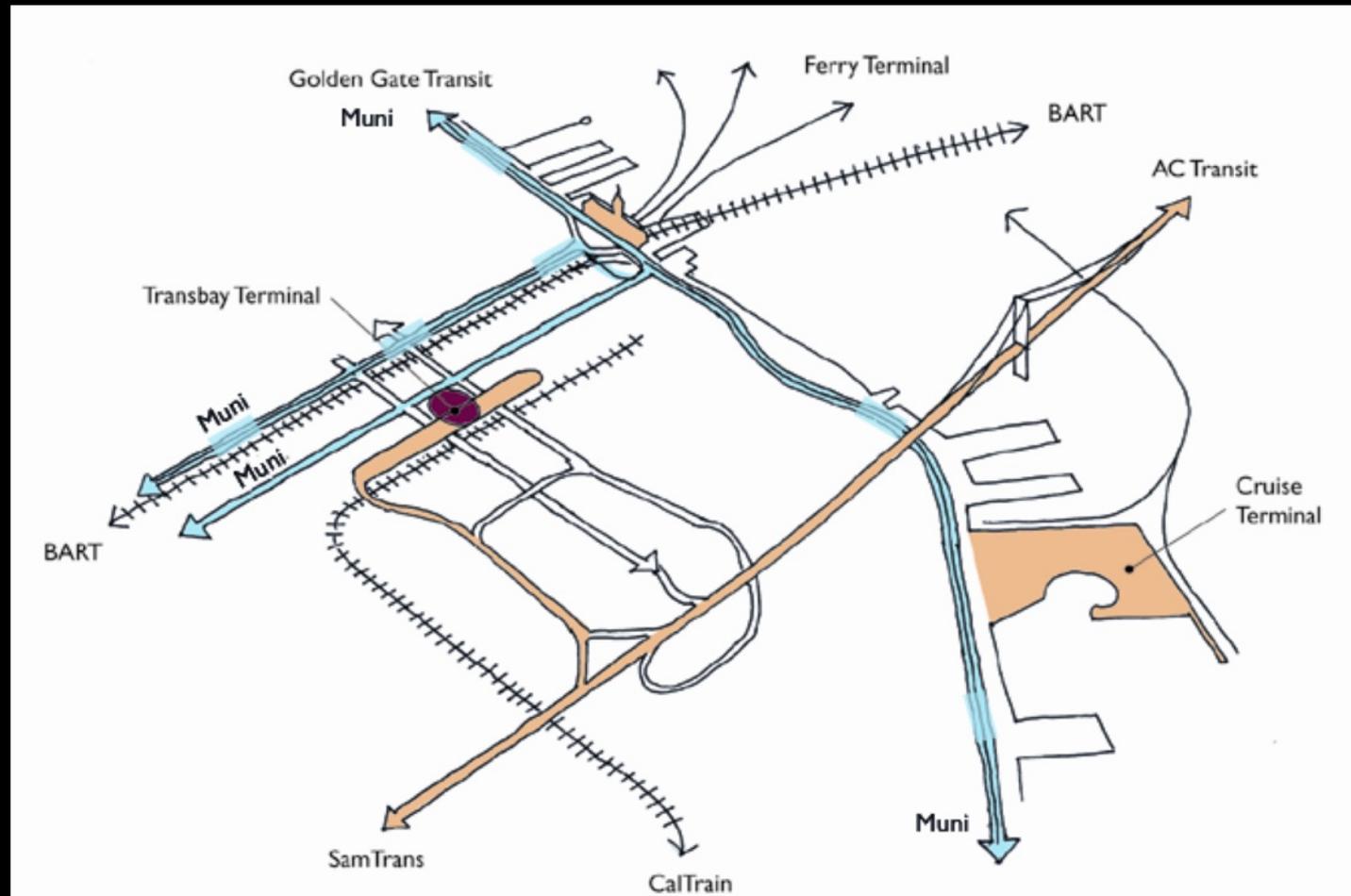
1. Create a livable Downtown neighborhood with well-designed streets and open space linking surrounding areas.
2. Establish the area as a gateway to the city.
3. Promote transit-oriented development with pedestrian-oriented design.
4. Help address the city and regional housing crisis, support regional transit use, and support the Terminal and Caltrain extension.
5. Create a state of the art, multi-modal transit facility that is integrated into the surroundings.
6. A new community of economically and socially diverse residents (35% affordable housing) living together in the enjoyment of excellent urban design.

## The Vision



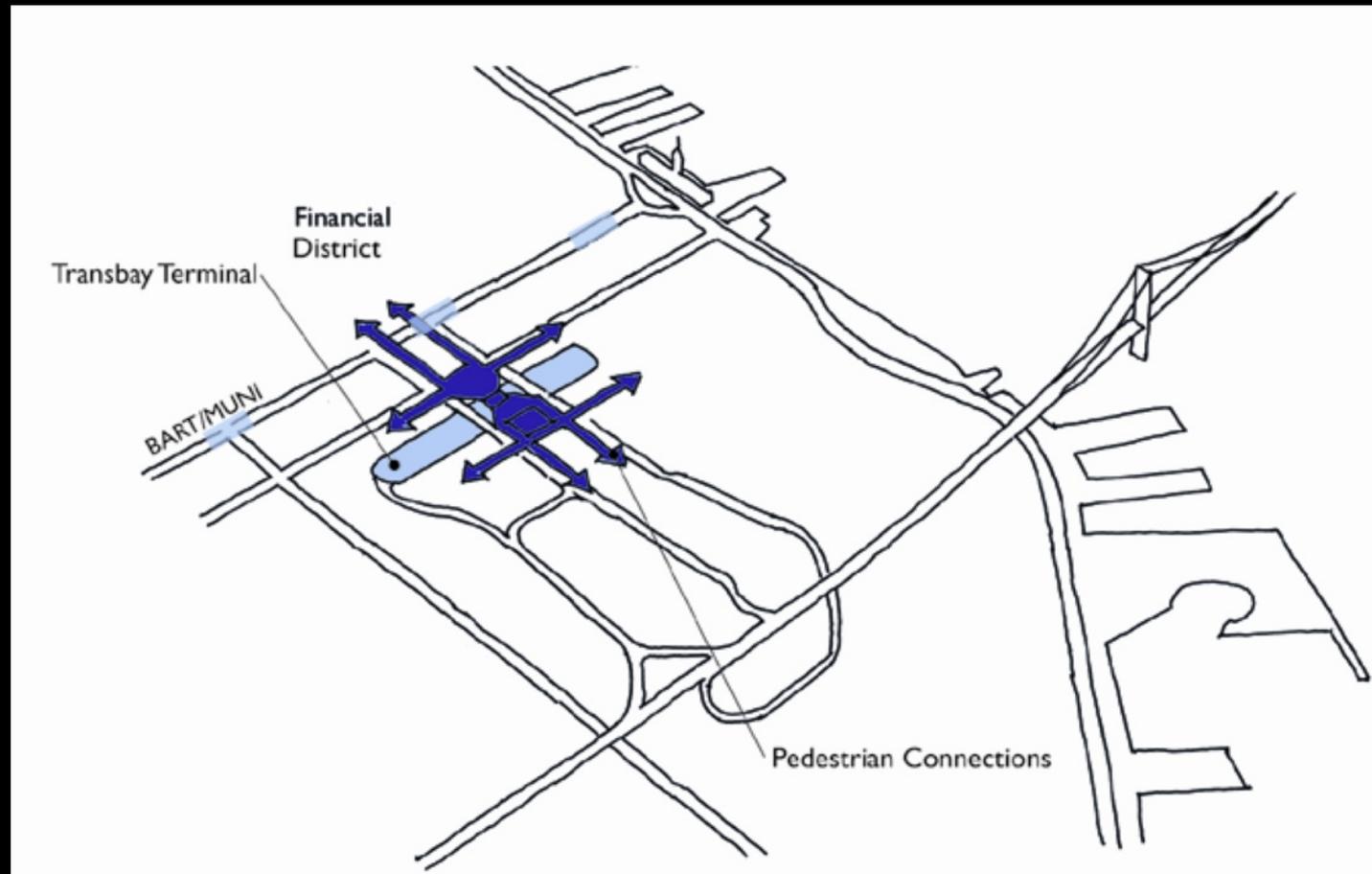
Framed by the Central Business District and the Rincon Hill neighborhood, Transbay includes important public land that will be developed into a transit-oriented mixed use, commercial and residential neighborhood.

## The Vision



The new state-of-the-art multi-modal transit Terminal will be the southern gateway to the financial district, coalescing transit services from all points of the Bay Area in downtown San Francisco.

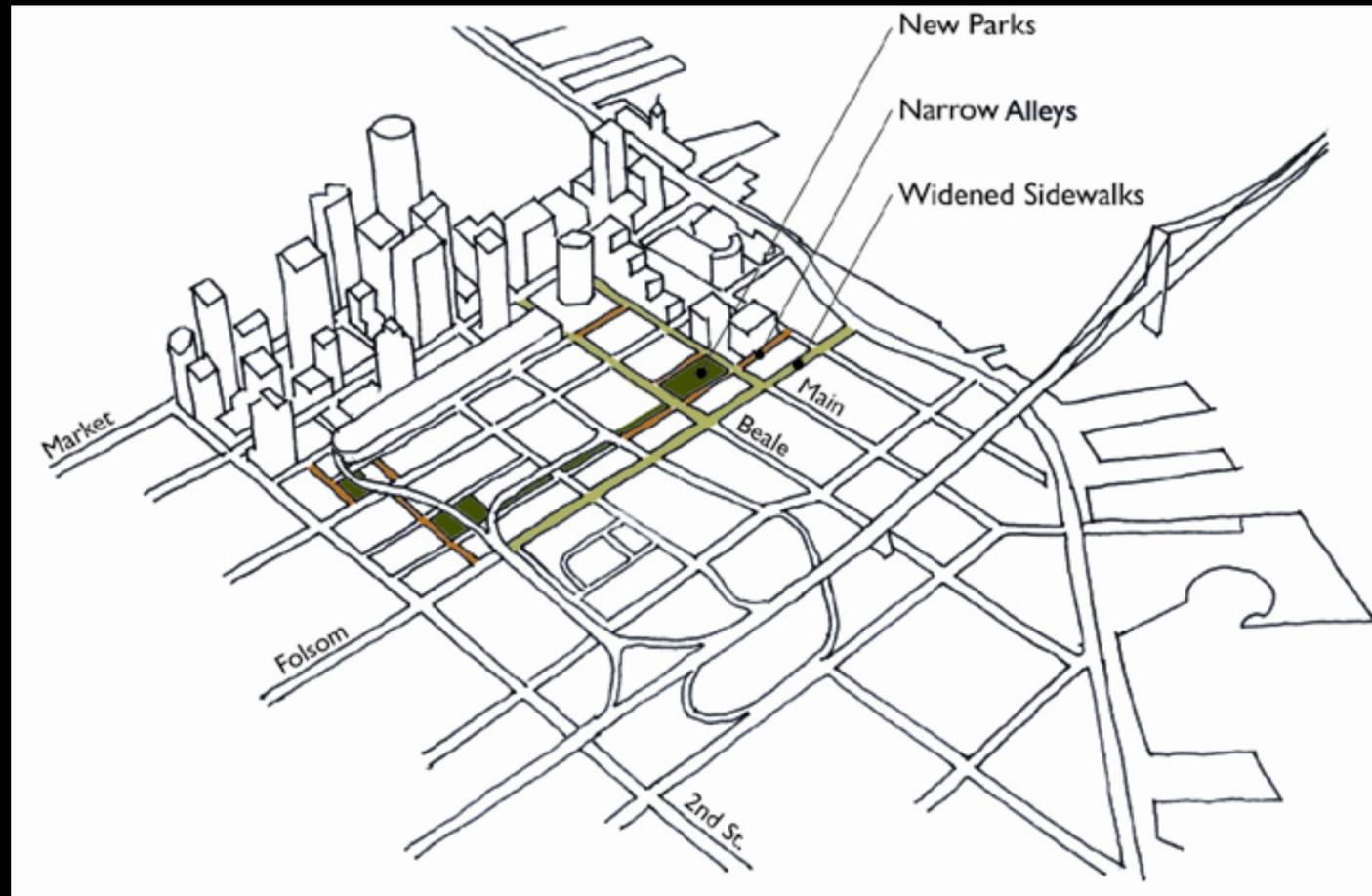
## The Vision



Enhanced pedestrian connections to and through the Transbay Terminal will facilitate access to transit and to surrounding neighborhoods and districts.

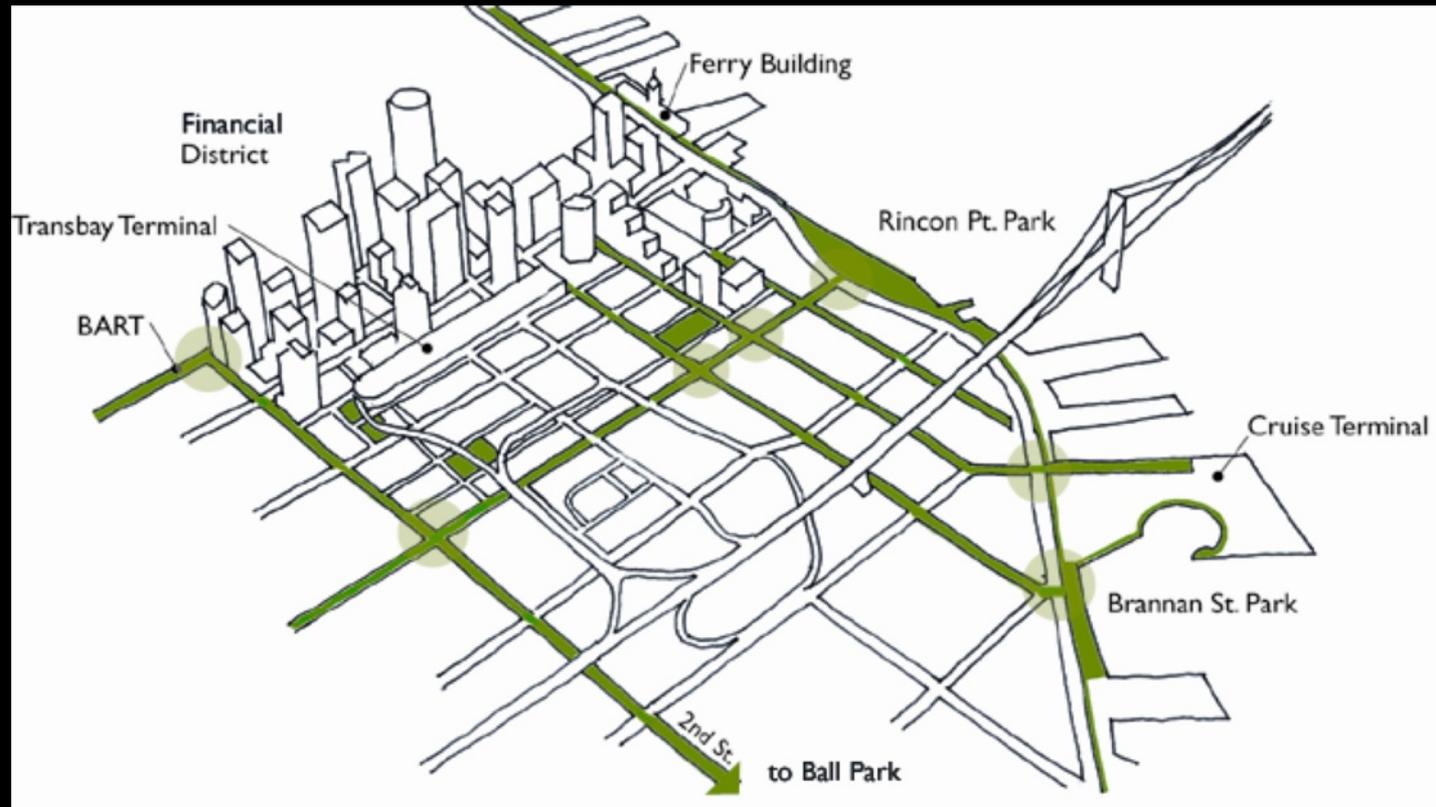
# **Streets & Public Spaces**

## The Vision



An active and attractive pedestrian environment will be created by expanding the existing public realm with new landscaped parks, pedestrian alleys, and widened sidewalks.

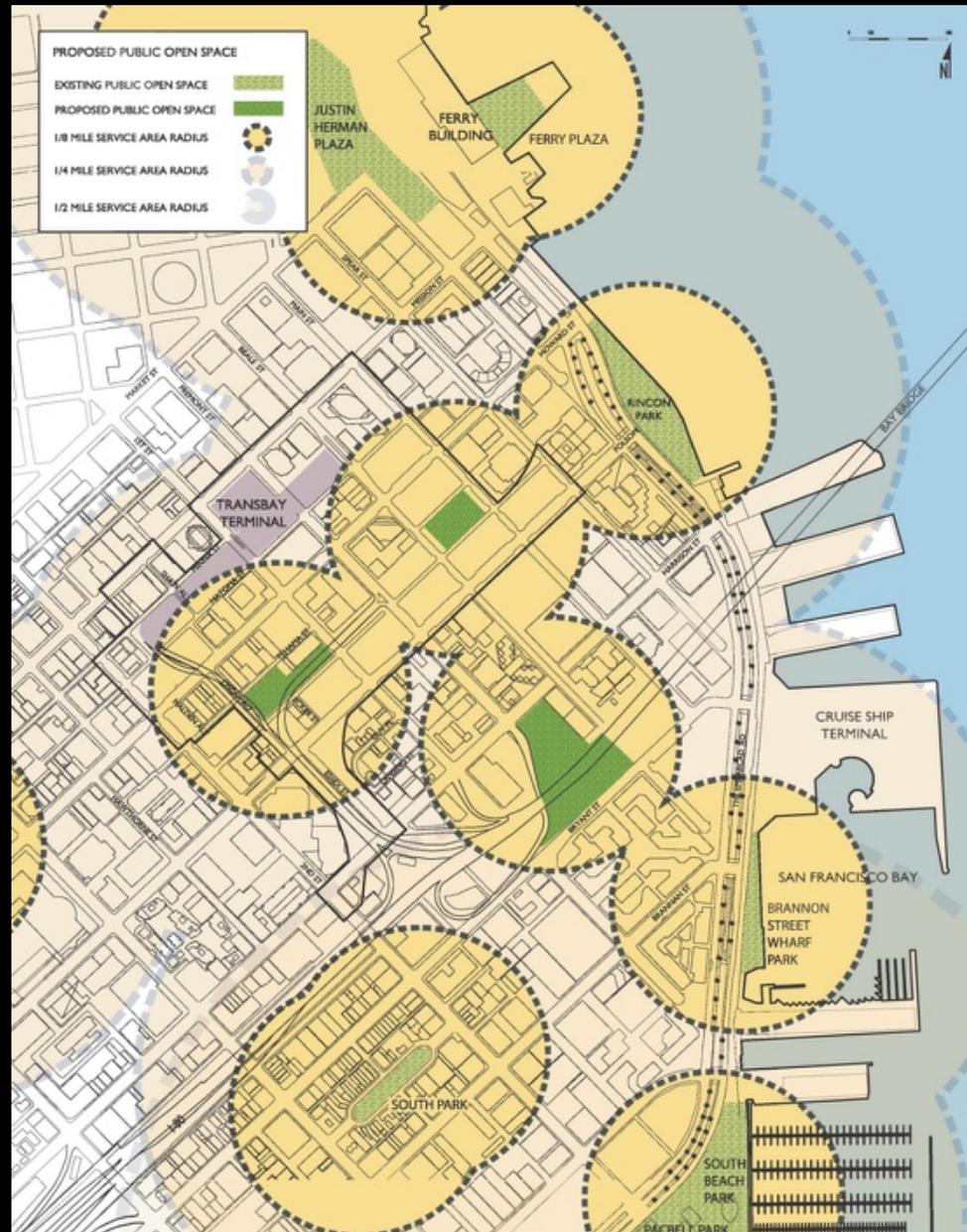
## The Vision



Improvements to the public realm of streets and alleys will create strong connections to the waterfront and other nearby San Francisco amenities.

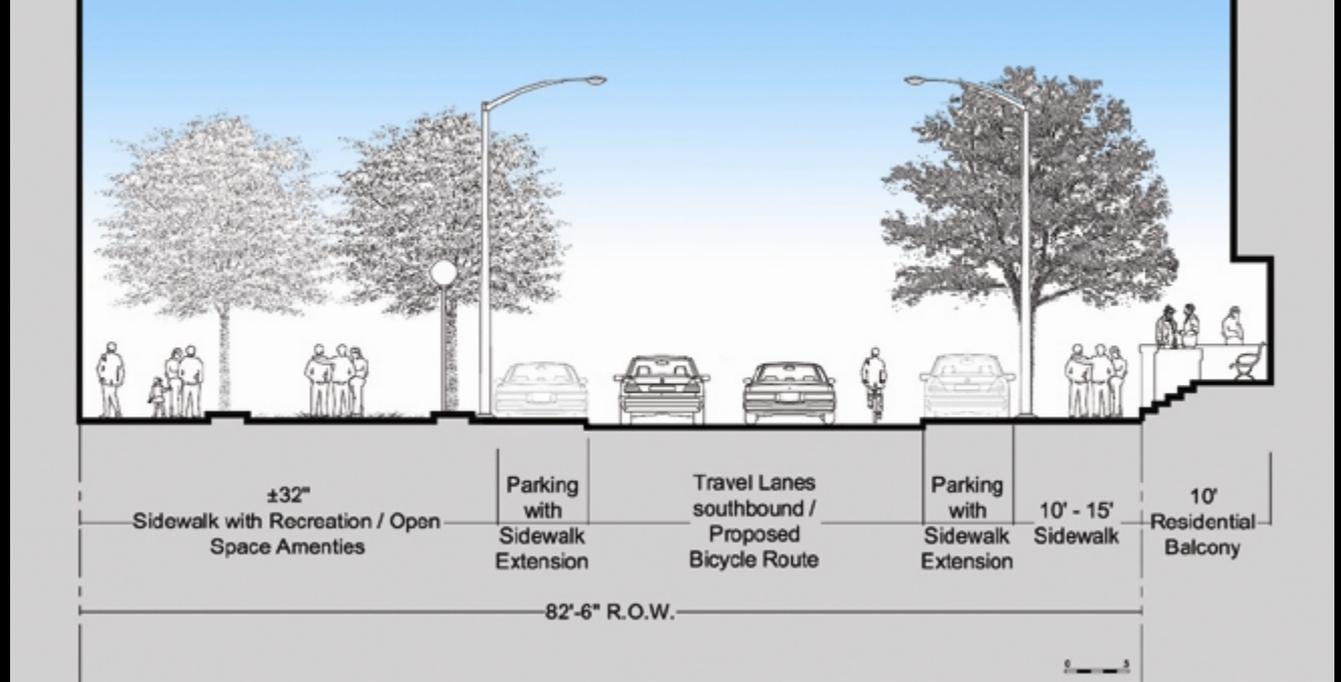


# Existing and Proposed Sidewalk Pedestrian Improvements



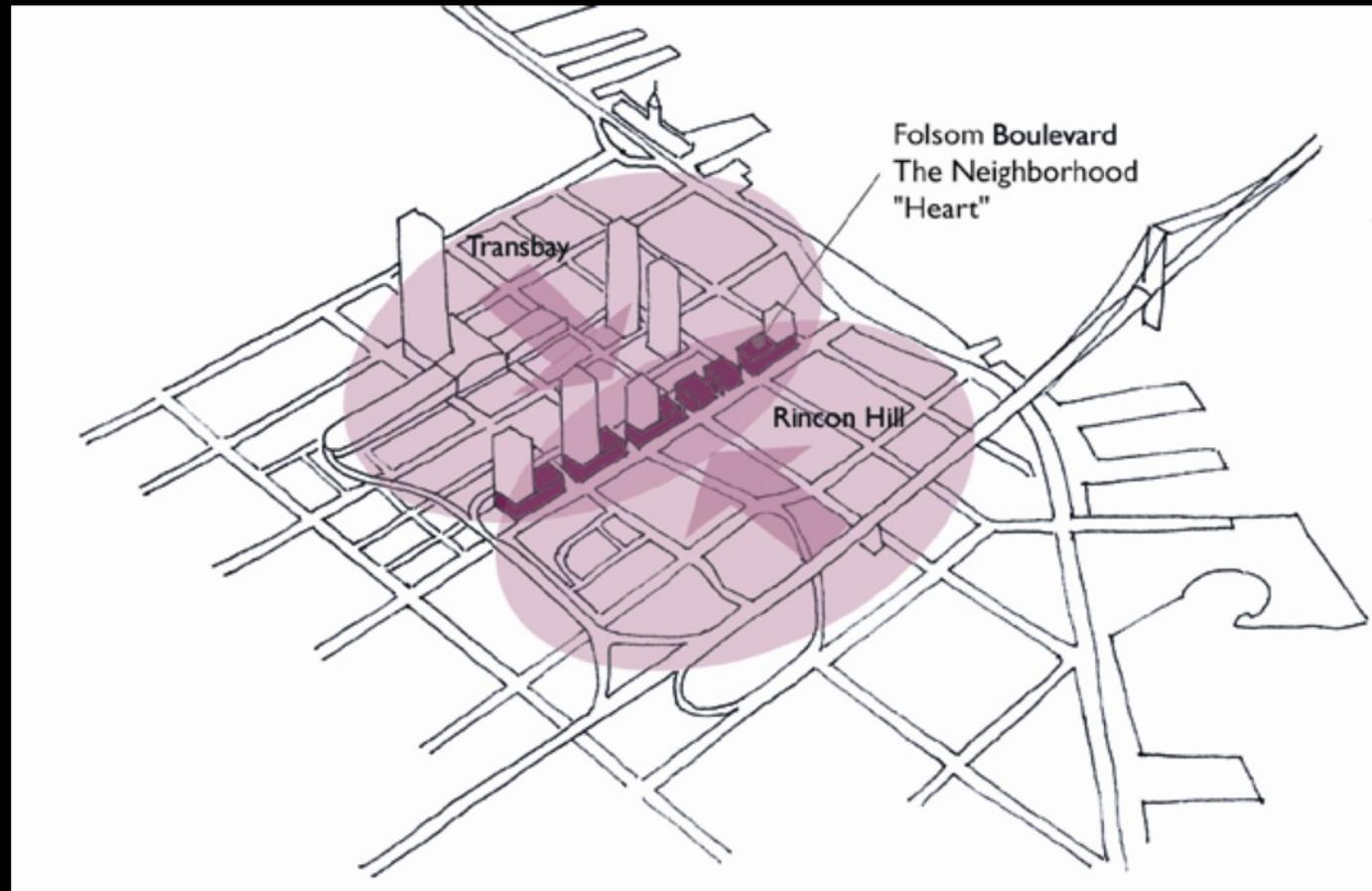


# Redesign Streets



# **Heart of Neighborhood**

## The Vision

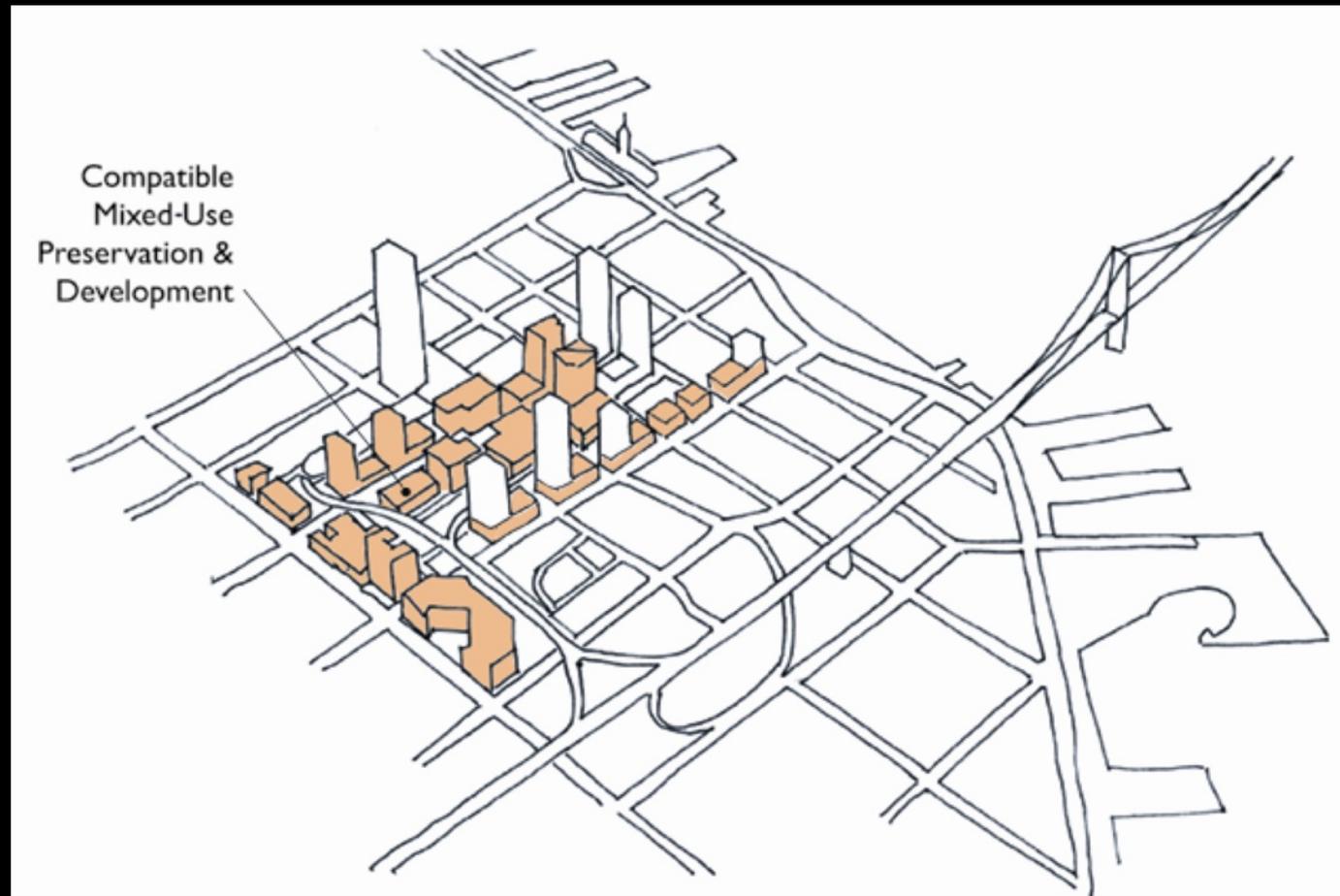


The "heart" of the neighborhood will be located on Folsom Boulevard, where sidewalks will be widened, streetscape improvements added and where convenience services and retail uses will be located.



*Santana Row, San Jose*

## The Vision



A sense of urbanity and a connection to the past will be achieved by retaining older buildings wherever possible in the historic and conservation districts around Second Street and by requiring compatible infill development in their vicinity.

## The Vision



Views and sunlight will be preserved throughout the area by locating and spacing towers to minimize their shadow impacts and by requiring appropriate slenderness in new buildings.

Transbay  
Redevelopment  
Area and n  
Neighboring  
Pipeline Projects



## Concept I

- Current development trend extended
- Many towers (30-40 floors)
- 8 Floor Base
- 4700 units



## Concept 3

- Fewer towers
- Taller towers  
(slender proportion)
- Mixed 4-8 floor base
- Maximizes  
transparency and  
views to and from the  
city
- Creates a balanced  
mix of units

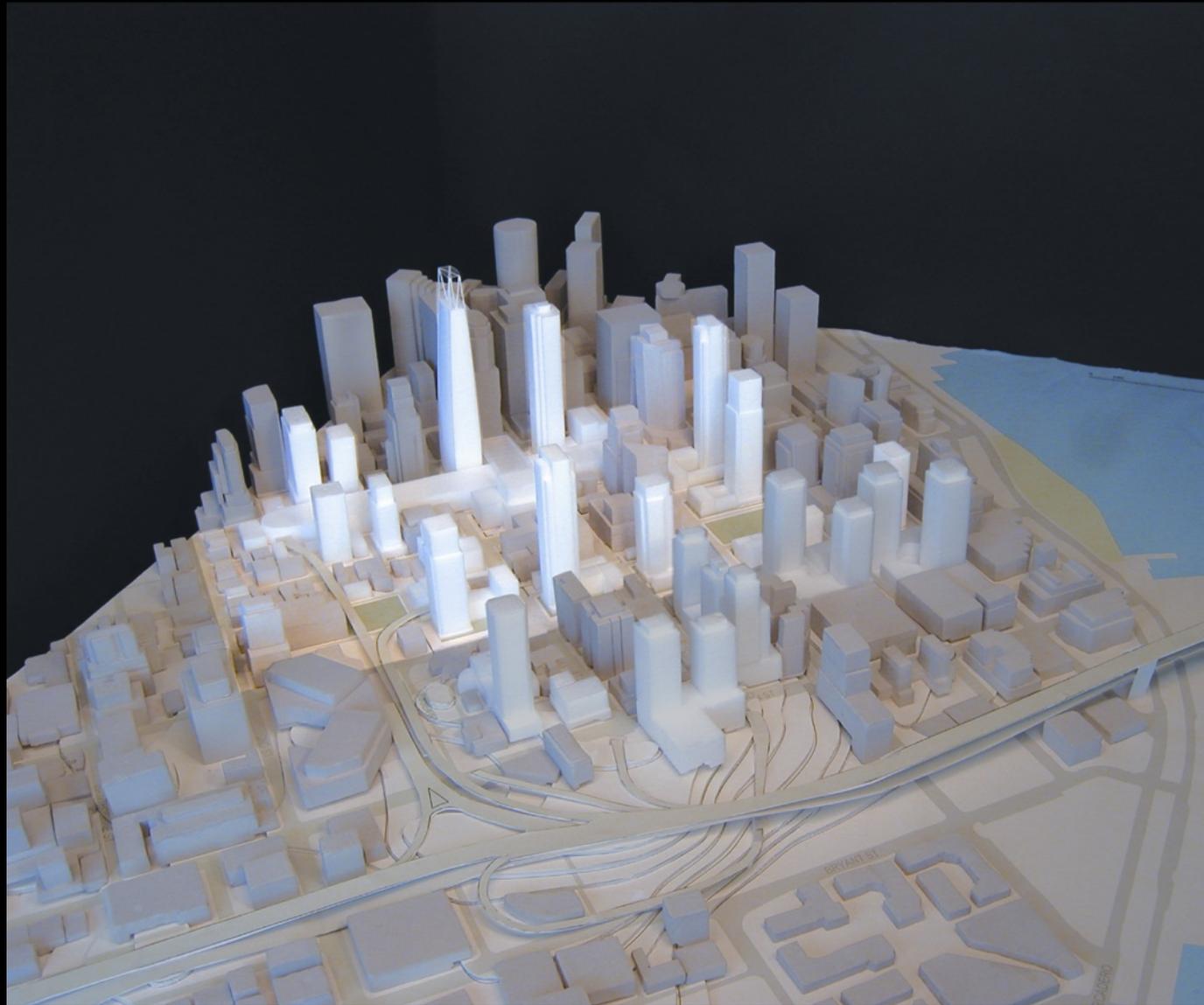


## The Plan

Towers should be elegant and well-spaced.

Ensure high quality designs to enhance livability and provide aesthetic variety.

Place and sculpt towers to avoid shadows on public parks.



Concept I:  
Shadow Study

12 pm  
Winter



Concept 3:  
Shadow Study

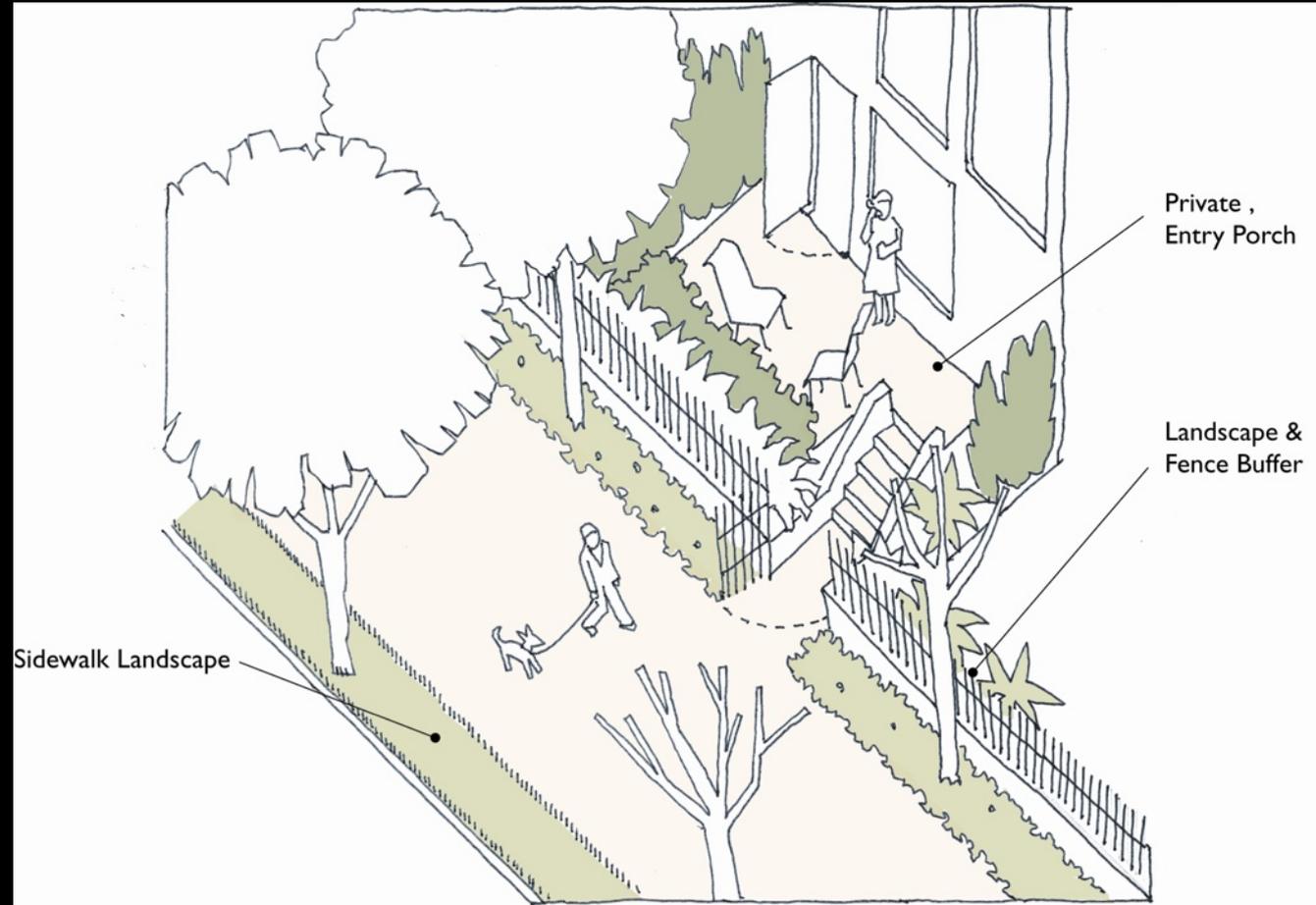
12 pm  
Winter



# **Development Controls**

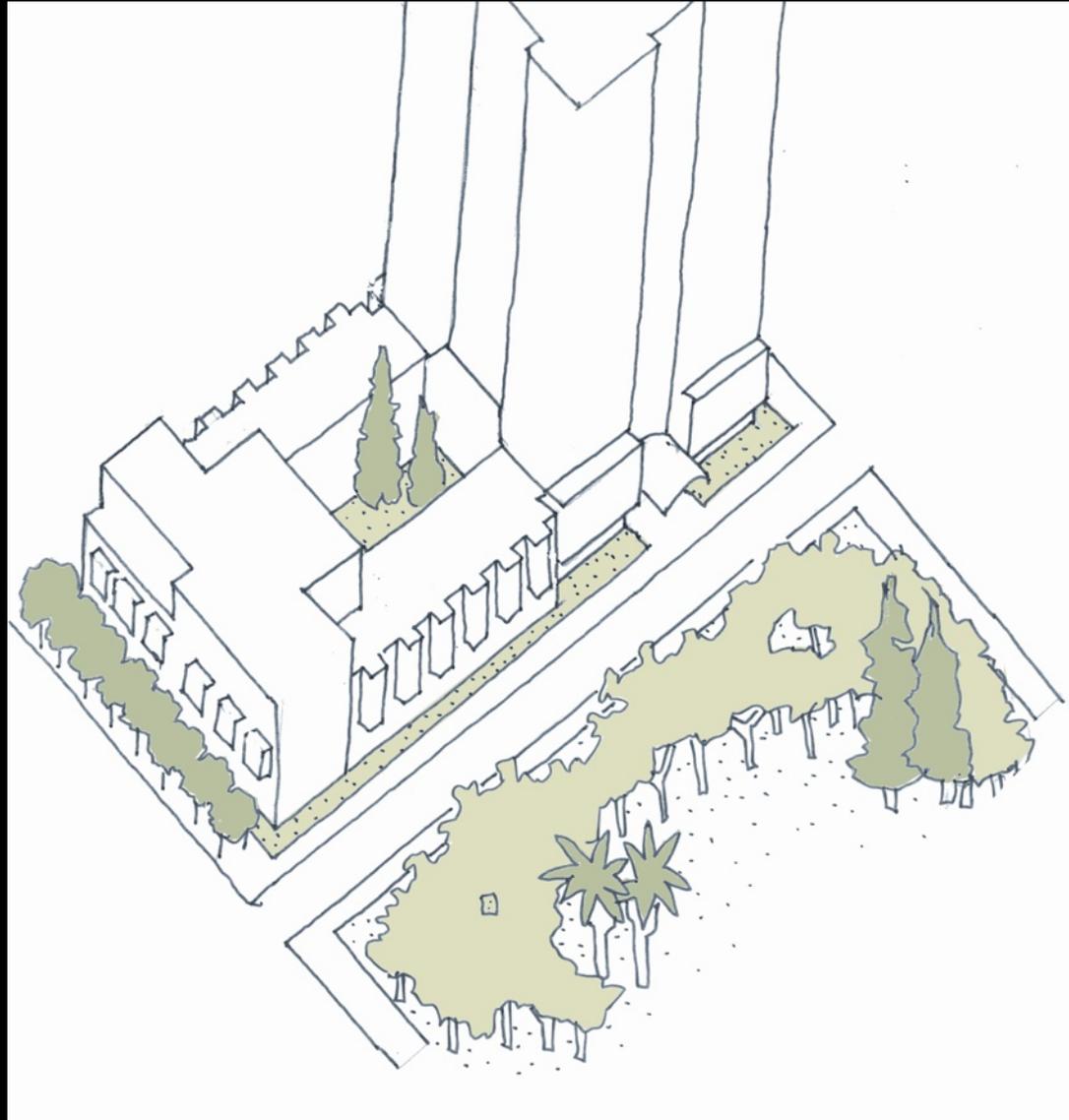
## Residential Base Treatment

Activate the street edge with attractive, engaging entry treatment and uses.



## Residential Base Treatment

- Form streets, alleys or mews at the human scale.
- Vary low-rise building heights and architectural character.
- Provide a rhythm of entries to individual units and storefronts and allow for personalization.





Residential Alley



Folsom Boulevard

# The Vision



# Transbay and Transit Center District

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# Transbay Development Program

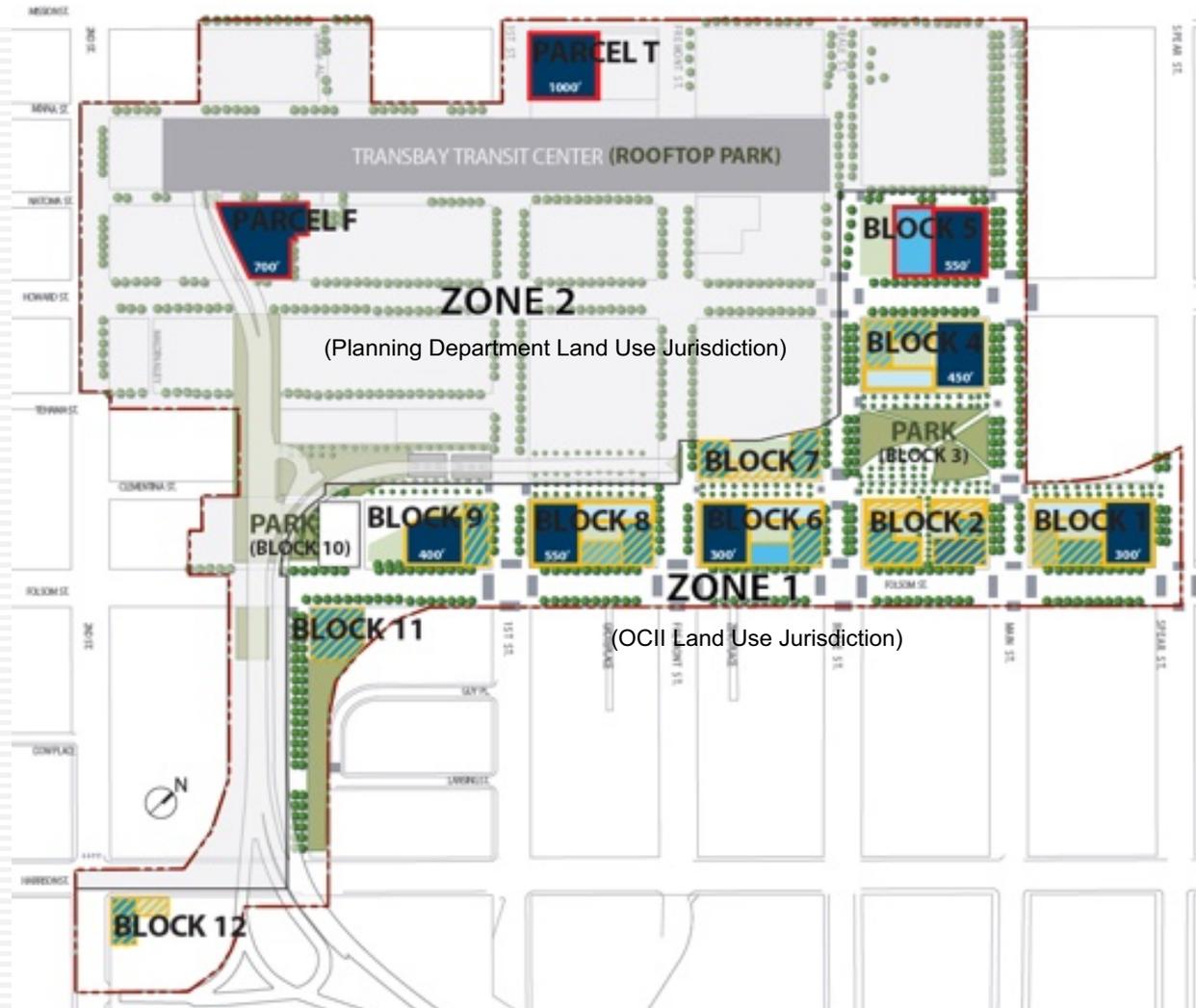
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## Publicly-Owned Parcels

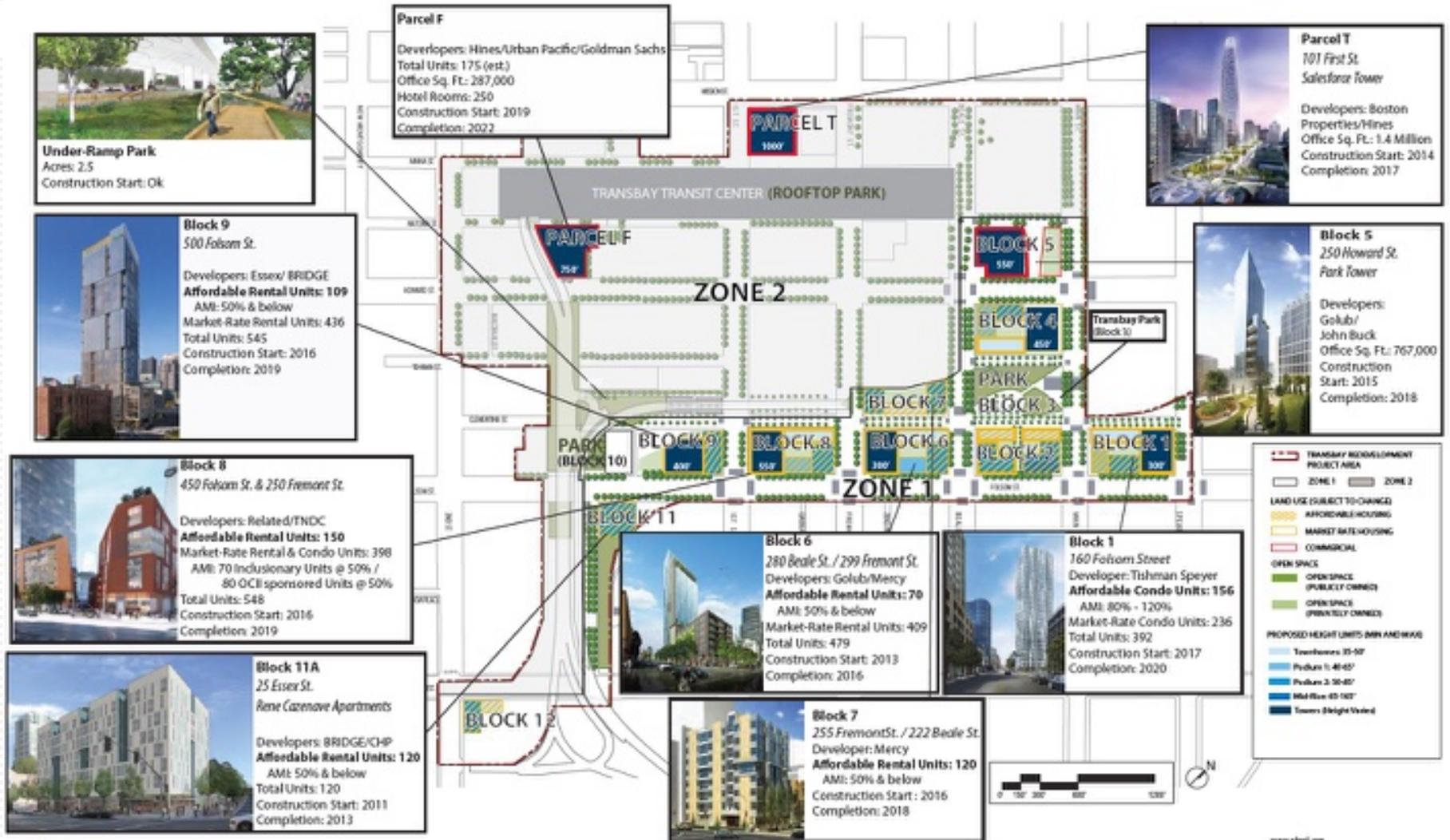
- Over 3,100 new residential units (including over 1,300 affordable units)
- Over 2.6 million s.f. of new office development
- 200,000 s.f. of new retail space
- 9 acres of new parks, including 5.5-acre rooftop park on Transbay Transit Center

## Privately-Owned Parcels

- Over 1,300 new residential units
- Nearly 4 million s.f. of new office development

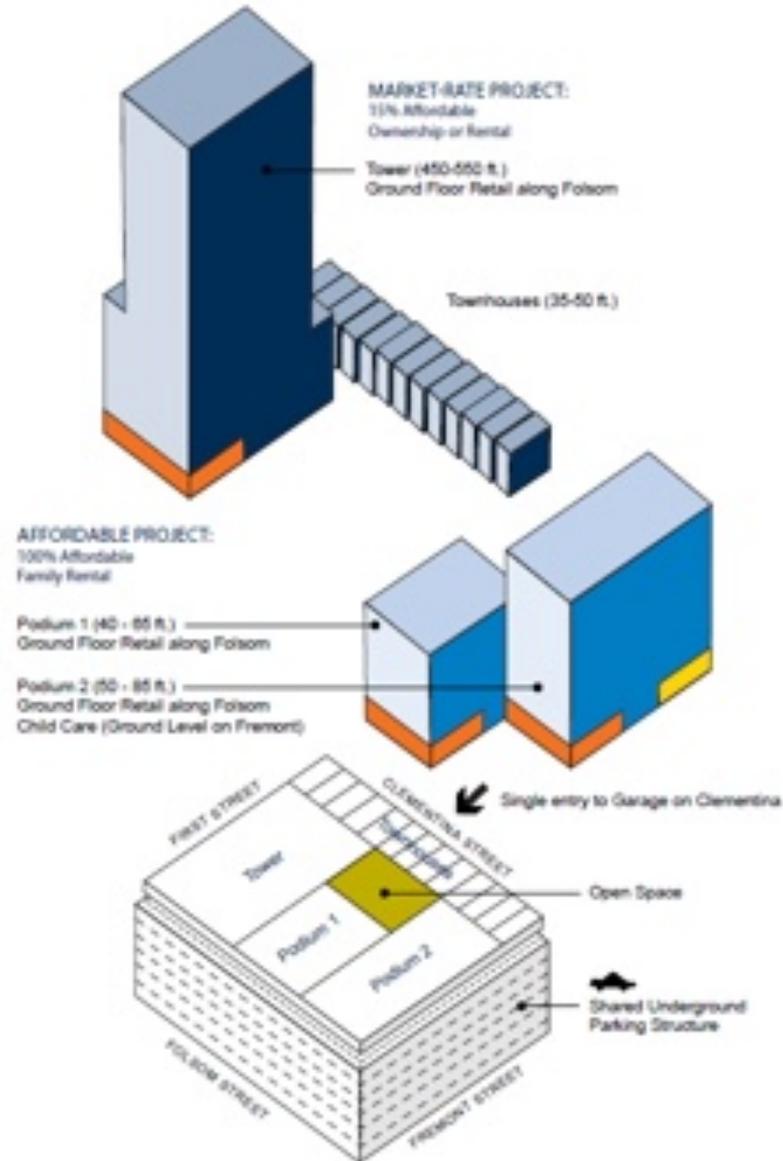


# Transbay Redevelopment Area



# Transbay Development Model

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# Transbay Affordable Housing

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- Types of affordable housing within blocks:
  - Inclusionary – Developer subsidized
  - Stand alone – OCII subsidized



# Transbay Tax Increment Financing

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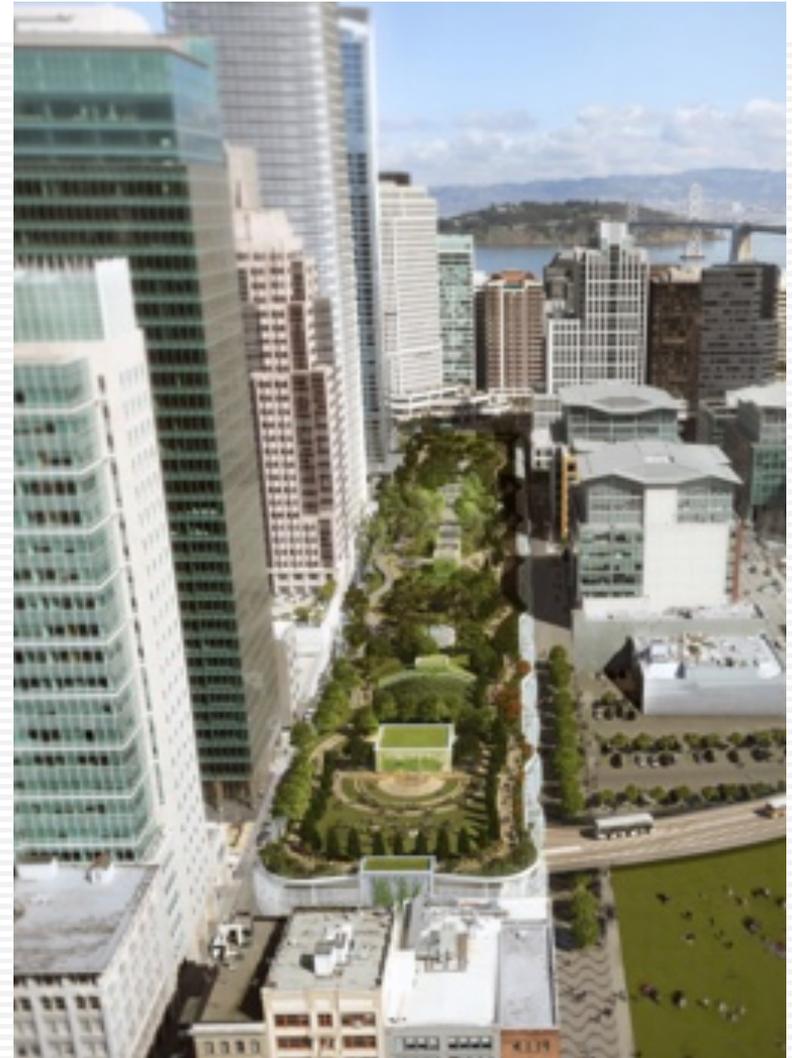
- Tax increment from the State-Owned Parcels is to be used for construction of the Transit Center and affordable housing
- Tax increment from the Non State-Owned Parcels will be used to fund affordable housing, streetscape improvements, open space and other public infrastructure



# Transbay Additional Financing

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- Federal Grants and Loans
- Regional Transit Grants
- Local Sales Taxes
- Land Sales of Former State Parcels
- Bridge Tolls



# Transbay and Transit Center District

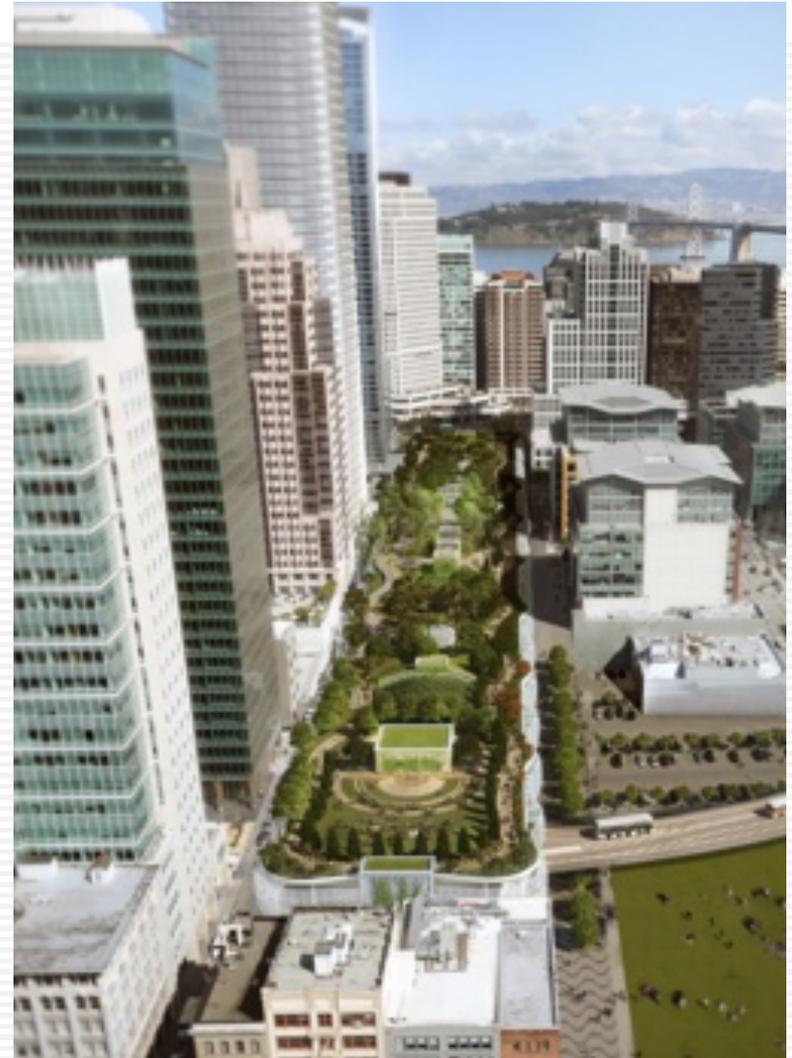
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# Transit Center District Financing

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- Development Impact Fees
- Community Facilities District
- Also – Transfer of Development Rights for Historic Preservation

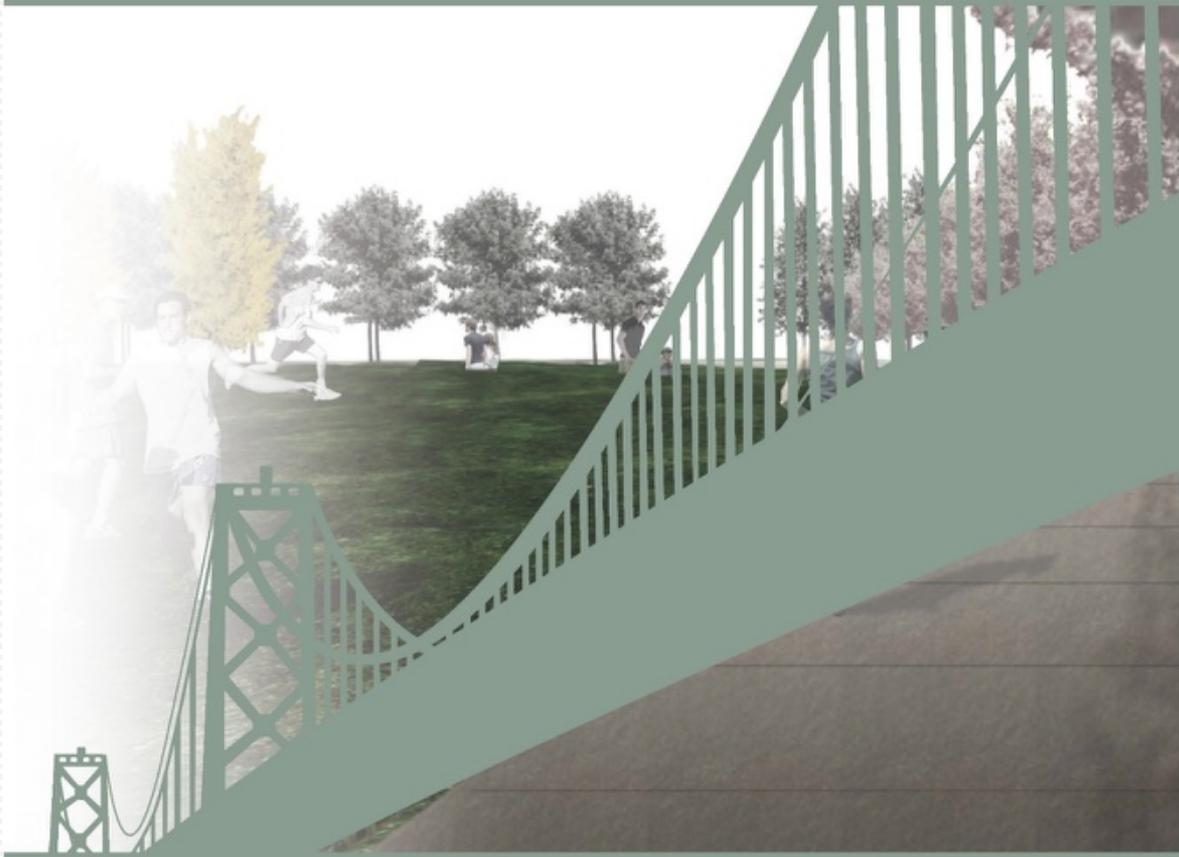


# Streetscape & Open Space Concept Plan

SAN FRANCISCO REDEVELOPMENT AGENCY & SAN FRANCISCO PLANNING DEPARTMENT

TRANSBAY REDEVELOPMENT PROJECT AREA  
STREETSCAPE & OPEN SPACE CONCEPT PLAN

NOVEMBER 21, 2006



ZIMMER GUNSUL FRASCA PARTNERSHIP

# Under Ramp Park



# Transbay Zone 1 Project Status

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## Under Ramp Park – Start Summer 2019



# Impact on Pedestrian Experience

## Folsom Looking East – Existing

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# Impact on Pedestrian Experience

## Folsom Looking East – Planned Projects

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# Impact on Urban Form

## View from Bay Bridge – Existing

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# Impact on Urban Form

## View from Bay Bridge – Planned Projects

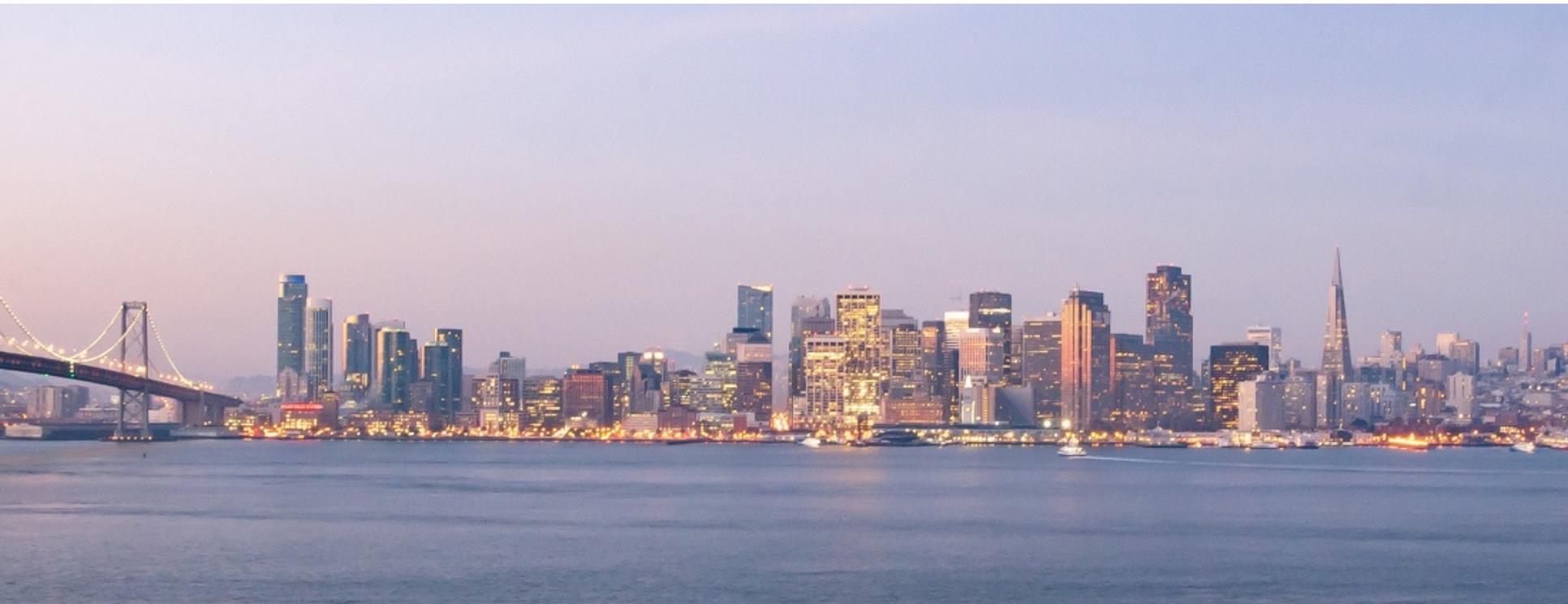
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# Urban Form

## View from Yerba Buena Island – Existing

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# Urban Form

## View from Yerba Buena Island – Planned Projects

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# THANK YOU

